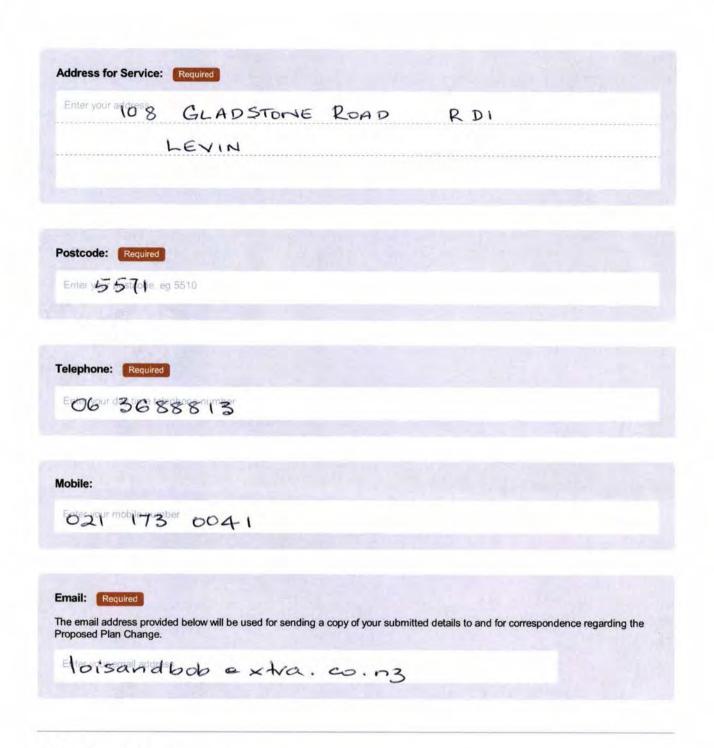


## **Further Submission 1: Lois Molloy**

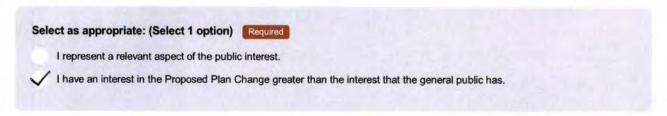
# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003 Further Submissions must be received by no later than 4pm on Monday, 15 March 2021. If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999. 1. Further Submitter Contact Details Title: (Select 1 option) Required Miss Ms Dr Not applicable Full Name: Required Annette Molloy Name of Organisation: (if on behalf of an Organisation) Enter your organisation



### 2. Further Submitters



#### 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

	lisabeth Susan Leighfield	
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Structure Plan 013 - layout of road

Connections particularly those roads with

access onto Glad Stone Road

#### 5. Further Submission Reasons

Attached

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## 7. Proposed Plan Change Hearing Please indicate your preferences below

Do you wish to attend the Yes	Council hearing for the Proposed Plan Chang	ge? (Select 1 option) Require	ed
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	support of your submission? (Select 1 option)	Required	
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(Select 1 option) Require	ubmission would you be prepared to consider presenting a	
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#### **Declaration**

#### Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitt	er: Required		
Lixa	Tolloy		
Name			
2015	Anneth	Molloy	



### Office Use Only

**Date Received:** 

5.

We are owners and residents of 108 Gladstone Road; we write in support of submission 04/06 and make the following comments. Gladstone Road is a narrow country road which, between Queen Street East and Tararua Road, forms the eastern boundary to the proposed subdivision. This road's character would be compromised if added traffic were to enter or leave Gladstone Road on the proposed new arterial road which joins at the right angle corner at 100 Gladstone Road. We believe there should be no road joining Gladstone Road at that corner. Traffic from Tara Ika and Queen Street East should be channeled south to join Tararua Road without travelling on Gladstone Road at all. With three recently built houses and two under construction, there will be five driveways joining Gladstone Road at that corner; we do not need an additional arterial road!

6

The creation of any additional road access onto Gladstone Road be removed from the proposed Plan Change.

Measures to encourage recreational activity along Gladstone Road by discouraging vehicular traffic other than for local access, be added to the proposed Plan Change.



## **Further Submission 2: Christine Bingham**

# Further Submission Form: Proposed Plan Change 4



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1 5 MAR 2021

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Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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#### 1. Further Submitter Contact Details

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Name of Organisation: (if on behalf of an Organisation)  Rangevision Villas - Owner	Horowhenud District



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Mobile:		
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Email: Required		
The email address provided Proposed Plan Change.	below will be used for sending a copy of your sub	
Record address	swall@xtva.co.n	
Personal Research		

Select as appropriate: (Select 1 option) Requiref

I represent a relevant aspect of the public interest.

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

### 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

ubmitter's Name: Required				
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## 5. Further Submission Reasons

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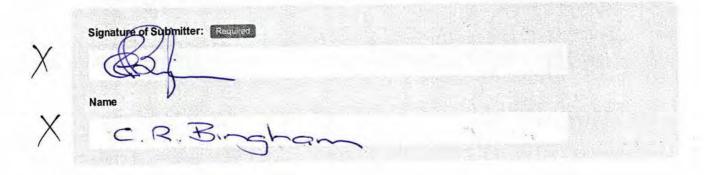
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Yes  ✓ No  Sign language interpretation required? (Select 1 option)  Yes  ✓ No				
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### Declaration

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.



Date: 11032021

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## **Further Submission 3: Pamela Adams**

# Further Submission Form: Proposed Plan Change 4



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1 5 MAR 2021

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#### 1. Further Submitter Contact Details

Title: (Select 1 option	) Required				
Mr					
✓ Mrs					
Miss					
Ms					
Dr					
Not applicable					
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Telephone: Required		
Enter your day firme telephone n	umber 368-6154	
Mobile:  Enter your mobile number		
Email: Required  The email address provided below Proposed Plan Change.	will be used for sending a copy of your submitted d	etails to and for correspondence regarding t
Enter your emeil address		

3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

Rangeview Villas Body Corp	o rate	
Submitter's Address for Service: Required		
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Wellington 6143		·/
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## 5. Further Submission Reasons

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Yes	Required
No	

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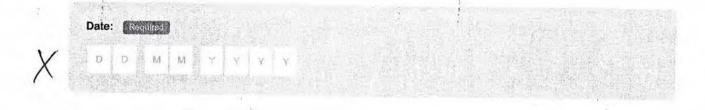
#### Declaration

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

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## **Further Submission 4: Judith Stafford**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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#### 1. Further Submitter Contact Details

	2	
Title: (Select 1 option) Required		
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VMrs SCAFFOIR		
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Dr		
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Select as appropriate: (Select 1 option) Required

I represent a relevant aspect of the public interest.

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Rangeview V	illas Body Corporate	
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## 5. Further Submission Reasons

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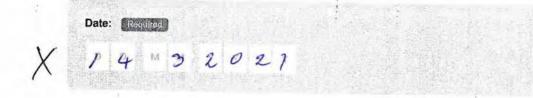
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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

	Signature of Submitter:	Required
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## **Further Submission 5: James Courtley**

## Further Submission Form: Proposed Plan Change 4

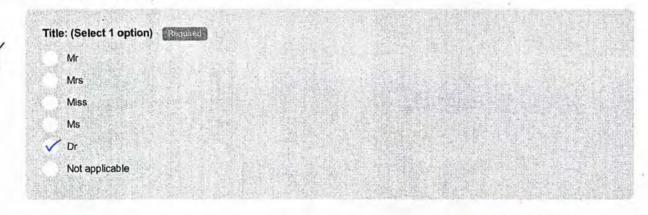


Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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#### 1. Further Submitter Contact Details



Full Name: RECEIVED

RECEIVED

Name of Organisation: (if on behalf of an Organisation)

Received

Villas — Owner



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Email: Required.  The email address provided below will be used for sending a copy of you Proposed Plan Change.	ır submitted details to and for correspondence regarding
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Further Submitters	

I represent a relevant aspect of the public interest.

3. Further Submission Details
(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

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Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required		
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Date: [14 03 2021

## Office Use Only

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## Further Submission 6: Derek & Dorothy Canvin

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

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I represent a relevant aspect of the public interest.

3. Further Submission Details
(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

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Sign language interpretation required? (Select 1 option)	
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Please attach all files to the end of this form before submitting it.	
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Please note that submissions are public information. Information on this form including your media and public as part of the decision making process. Council is required to have this by contact details will only be used for the purpose of the Plan Change process. The information 126 Oxford Street, Levin. You have the right to access the information and request its corre	will be held by the Horowhenua Distr
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Signature of Submitter: Required	

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### **Further Submission 7: Janie Moncrieff**

## Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

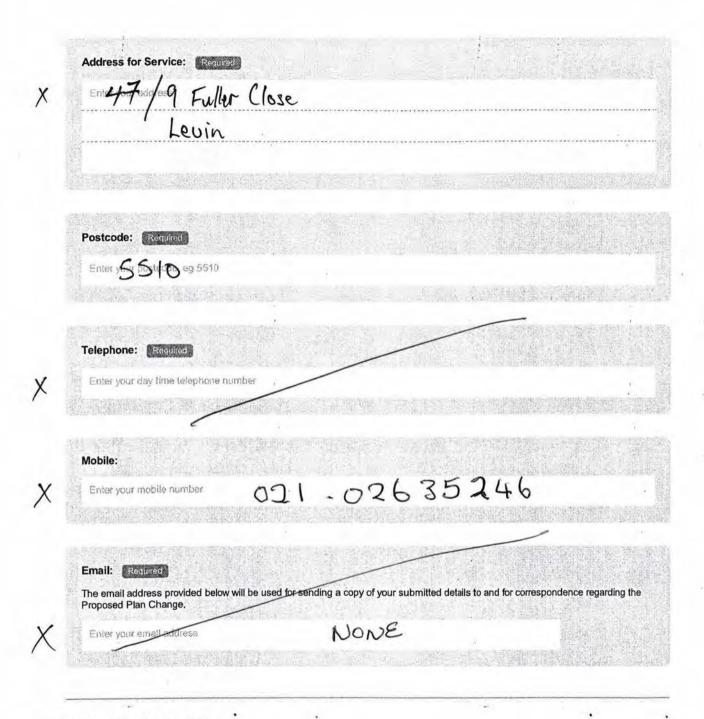
Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details







### 2. Further Submitters

Select as appropriate: (Select 1 option) Required

I represent a relevant aspect of the public interest.

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

### 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required	
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## 5. Further Submission Reasons

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Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Am Moncrieff

Name

Name

Anice Moncrieff

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### **Further Submission 8: Delza Purvis**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details



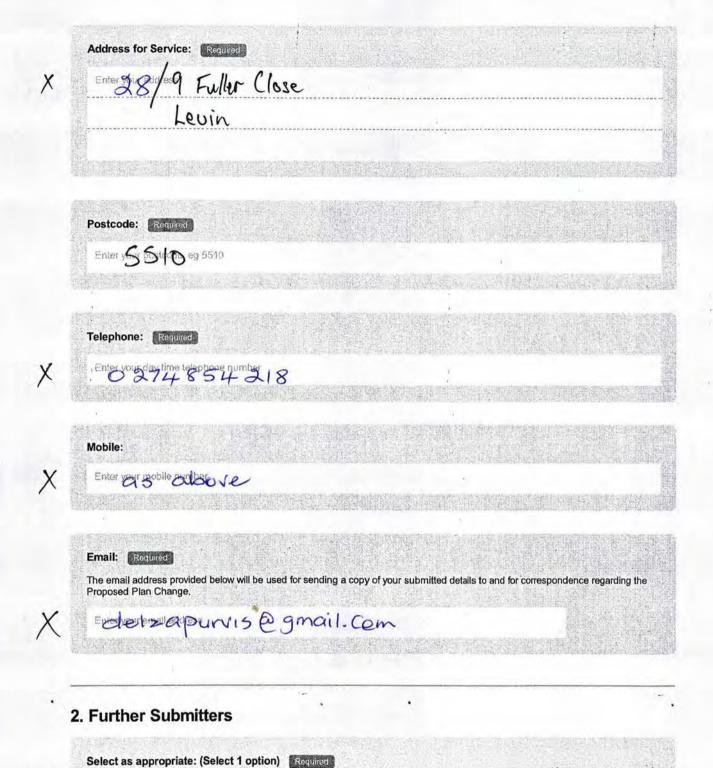


Name of Organisation: (if on behalf of an Organisation)

Range Silver Villas — Owner







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3. Further Submission Details

I represent a relevant aspect of the public interest.

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

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## 5. Further Submission Reasons

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Do you wish Yes No	to speak in support of your submission? (Select 1 option) Required

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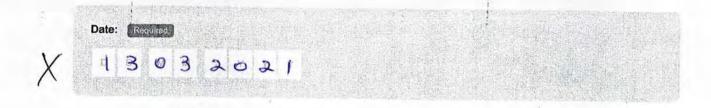
### Declaration

#### Privacy Act 1993

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IMPORTANT: You must send'a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

	Signature of Submitter: Required	Deluvis.			
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## Further Submission 9: Josephine Olsen

## Further Submission Form: Proposed Plan Change 4

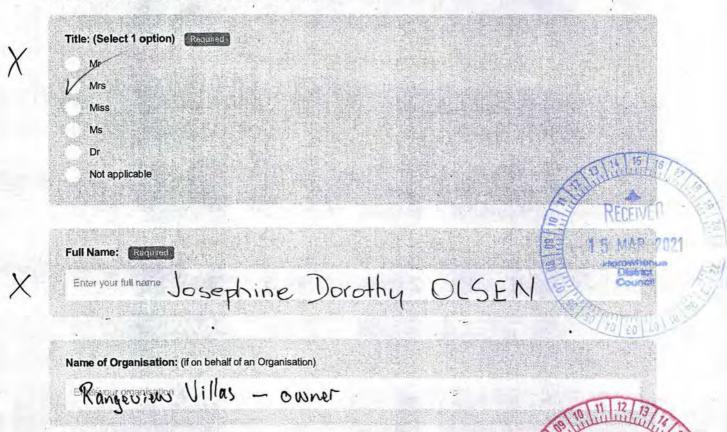


Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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### 1. Further Submitter Contact Details



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I represent a relevant aspect of the public interest.	
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3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

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## 5. Further Submission Reasons

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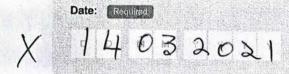
### Declaration

#### Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

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Don't forget to attach all files before submitting this form



## **Further Submission 10: Diana Murphy**

## Further Submission Form: Proposed Plan Change 4

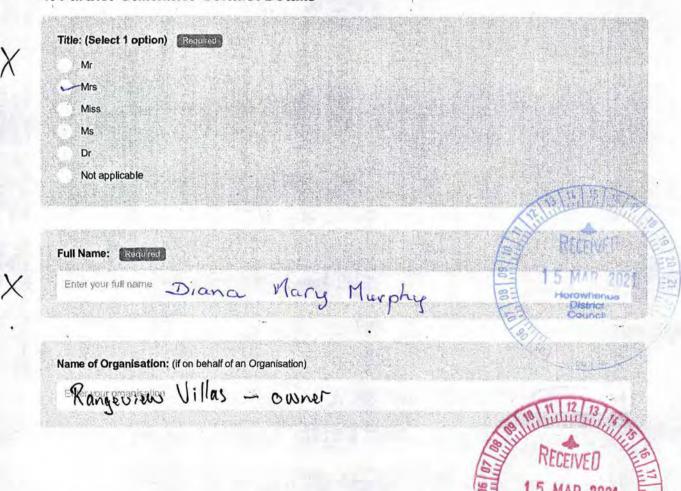


Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details



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3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

✓ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

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Page 70 of 649

The extension Fuller Close on Rangevie	of Liverpool Street through would have a major impact a Villas
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eek the whole <del>(or part</del> ) of the	submission to be allowed (or disallowed):
Fuller Close Plan Change	to extend Liverpool Street through Should be removed from the Proposal
Proposed Plan Chan e indicate your preferences below	ge Hearing
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✓ Yes	
, you wish to speak in support	t of your submission? (Select 1 option) Required
you wish to speak in capper	

	If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?  (Select 1 option) Required
/	Yes
1	No No
	Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)
/	Yes
	No s
	Sign language interpretation required? (Select 1 option)
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	No
	Submission Attachments:
	Please attach all files to the end of this form before submitting it.

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Name						
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## **Further Submission 11: Stella Austing**

## Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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### 1, Further Submitter Contact Details

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1/	Title: (Select 1 option) Required	
Χ	Mr	
	Mrs	
	√ Miss	
	Ms	
	<b>Dr</b>	
	Not applicable	

Full Name: Required

Enter your full name STELLA AUSTING

Name of Organisation: (if on behalf of an Organisation)

Range organisation: Villas — Owner





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3. Further Submission Details
(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

✓ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

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## 5. Further Submission Reasons

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. Proposed Plan Chan ease indicate your preferences below	nge Hearing
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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working 'days of making the further submission to Horowhenua District Council.

Signature of Submitter:

Signature of Submitte

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### **Further Submission 12: Maxine Rutten**

## Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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### 1. Further Submitter Contact Details

Title: (Select 1 option) Required				
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✓ Mrs				
Miss				
Ms				
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Name of Organisation: (if on behalf of an Organisation	n)			

Rangeview Villas - owner



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I represent a relevant aspect of the public interest.	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1

## 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

✓ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

Maxime Rutten 34/9 Fuller close Levin

This is a further submission in support of or opposition to the submission of:

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5. Further Submission Reasons

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6. Further Submission Decision Sought	-
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EnterThe Droposal to extend Liverpool Street through	
Fuller Close should be removed from the Plan Change Proposal	
7. Proposed Plan Change Hearing Please indicate your preferences below	*
Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option)	
Yes	
No	
Do you wish to speak in support of your submission? (Select 1 option)  Yes  ✓ No	

Yes	
✓ No	
Would you like to make your verbal submission in Te Reo Māori? (\$	Select 1 option)
Yes	
1/ No	
Sign language interpretation required? (Select 1 option)	
Yes	
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## **Further Submission 13: Margaret Foote**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details



Name of Organisation: (if on behalf of an Organisation)

Rangevino Villas - owner



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Enter your small address ma	rgarefoote 75 a) gn	nail.com

Select as appropriate: (Select 1 option) Required

I represent a relevant aspect of the public interest.

✓ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

### 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required		
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5. Further Submission Reasons

The reasons for my support (or opposition) are:	
Fuller Close would have a Major impact on Rangeview Villas	h
Fuller Close would have a major impact	
on Ramaeview Villas	
Further Submission Decision Sought	
I seek the whole <del>(or part</del> ) of the submission to be allowed <del>(or disallowed)</del> : Remarks Give precise	e details
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Name	



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# 5. Further Sulmission Reasons

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\* (Quiet? Noisy trafic! \* (Quiet? Noisy trafic! Safe? Danger of exiting Rangeview onto, a susy thorough fare.

why is council using money to purchase the villas for demotition when there are other roads that when there are without this action? are available without this action?



## **Further Submission 14: Jacqueline Terrence**

## Further Submission Form: Proposed Plan Change 4

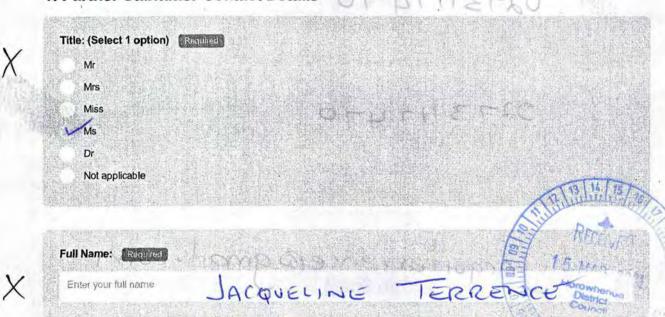


Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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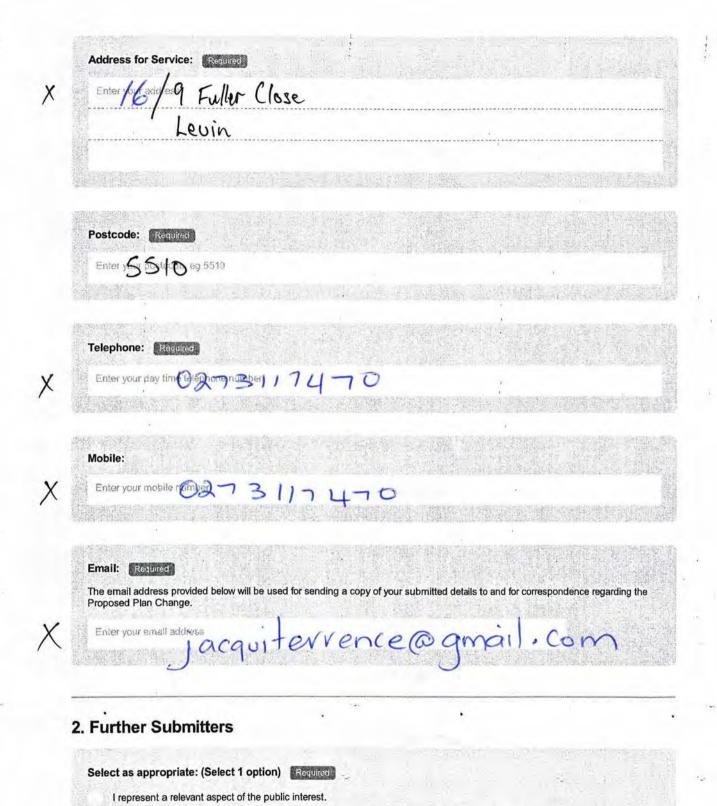
### 1. Further Submitter Contact Details



Name of Organisation: (if on behalf of an Organisation)

Rangeviews Villas - owner





### 3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

ubmitter's Name: Required		
Rangeview Villas Body Corporate		
ubmitter's Address for Service: Required		
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## 5. Further Submission Reasons

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Proposed Plan Change Hearing lease indicate your preferences below  Do you wish to attend the Council hearing for the Proposed Plan Change? (Select Yes  No	

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?

(Select 1 option)

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

Yes

No

Sign language interpretation required? (Select 1 option)

Yes

No

Submission Attachments:

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Please attach all files to the end of this form before submitting it.

#### Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

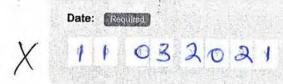
IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required

Name

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## Office Use Only

Date Received:	
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## **Further Submission 15: Heather Coffey**

# Further Submission Form: Proposed Plan Change 4



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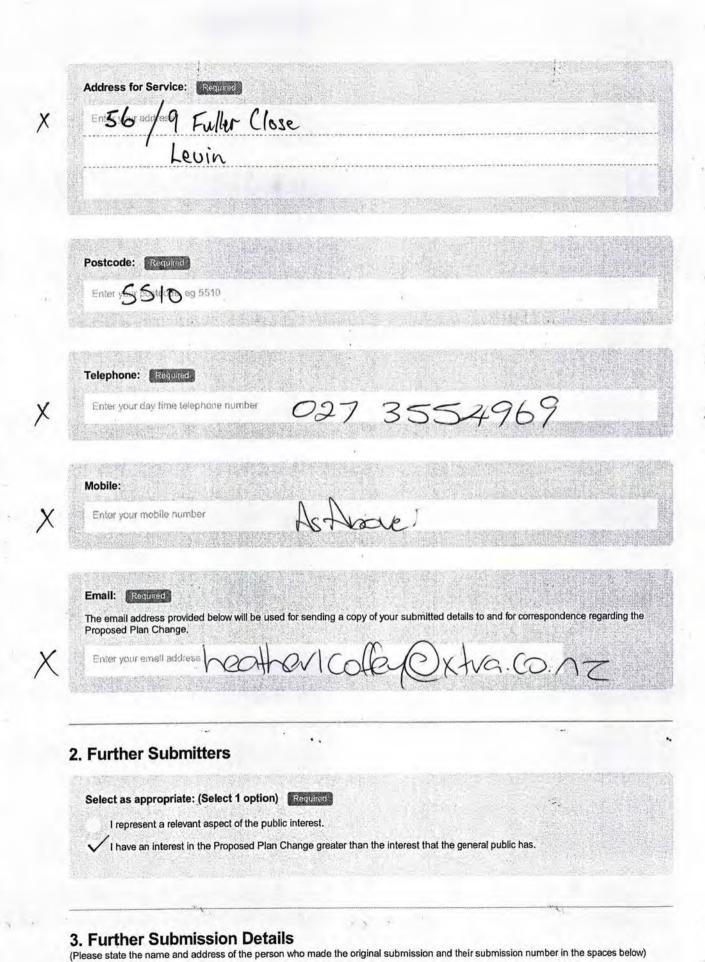
Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details

Title: (Select 1 option) Required	
Mrs	
Miss	
Ms	
<b>Dr</b>	
Not applicable	
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Full Name: Required	
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This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required	
Rangeview Villas Body Corporate	
ubmitter's Address for Service: Required	
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Wellington 6143	
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## 5. Further Submission Reasons

The reasons for my support ( <del>or opposition)</del> are: Required	
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Fuller Close should be removed from the Plan Change Proposal	0
Plan Change Prosper	
Proposed Plan Change Hearing se indicate your preferences below	
Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option)	
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Do you wish to speak in support of your submission? (Select 1 option) Required	

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	√ Yes No
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### Declaration

### Privacy Act 1993

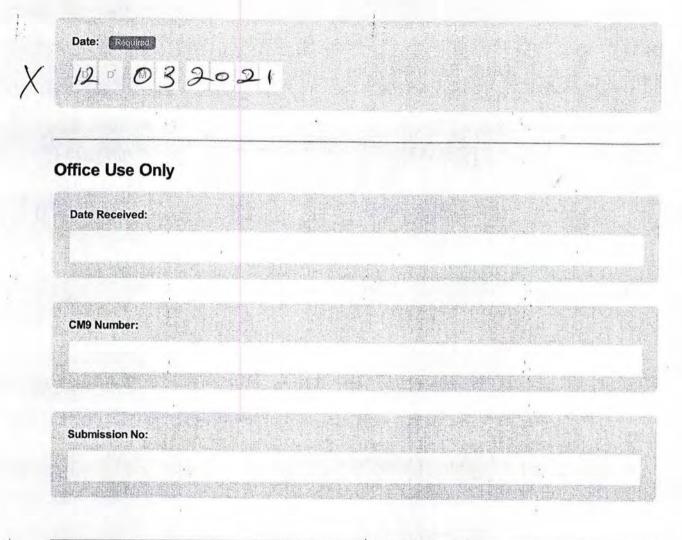
Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required

Name

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Don't forget to attach all files before submitting this form



### Further Submission 16: Marion Wiltshire & Brian Wicker

## Further Submission Form: Proposed Plan Change 4



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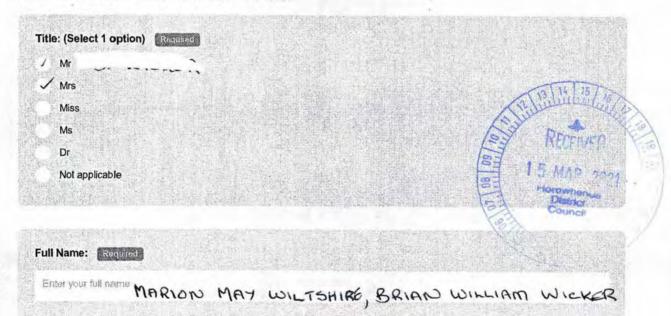
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Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

### 1. Further Submitter Contact Details



Name of Organisation: (if on behalf of an Organisation)

Rangeview Villas - owner



Address for Service: [Regulard]	
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## 3. Further Submission Details

I represent a relevant aspect of the public interest.

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

✓ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required				
Rangeview Villa	> Body	Corporate		
Submitter's Address for Service:	Required			
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#### Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required		
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Name		
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## **Further Submission 17: Helen Clark**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

#### 1. Further Submitter Contact Details

Title: (Select 1 option) Required	
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Dr .	
Not applicable	
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3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required		
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Sign language inte	rpretation required? (Select 1 option)	
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Please attach	all files to the end of this form before submitting it.	

#### Declaration

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## **Further Submission 18: Dianna Smith**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

#### 1. Further Submitter Contact Details

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	Mrs production of the state of
	Miss
V	/ Ms
	Dr Not applicable
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	Horownerus District
•	Council
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	Address for Service: Required
X	Enter your address Fuller Close Levin
	Levin
	Postcode: Required
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.,	Telephone: Required  Enter your day time telephone number 0211431722
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	Mobile:
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	The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.
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	2. Further Submitters
	Select as appropriate: (Select 1 option) Required
	I represent a relevant aspect of the public interest.
	I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

ubmitter's Name: Required		
Rangeview Villas Body Corporate		
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ubmitter's Address for Service: Required		
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# 5. Further Submission Reasons

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Plan Change	to extend Liverpool Street through Should be removed from the Proposal
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Yes	

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Would you like to make your verbal submission in Te Reo Māori? (Se	ect 1 option)
Yes No	
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Sign language interpretation required? (Select 1 option)  Yes	The state of the s
No	
Submission Attachments:	
Please attach all files to the end of this form before submitting it.	

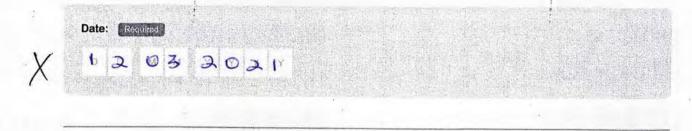
#### Declaration

#### Privacy Act 1993

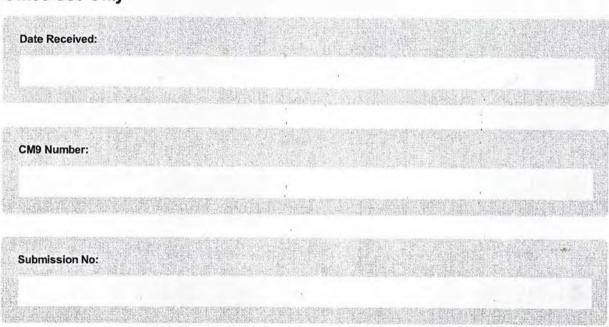
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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

	Namise	
	7-0 001102	
Name		



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### Further Submission 19: Robin & Jennifer Benton

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

#### 1. Further Submitter Contact Details

Title: (Select 1 option) Required	
Mrs	
Miss Especial OF A Transfer of the Miss of	
Ms	
Dr	
Not applicable	
	13 14 18
Full Name: Required  Report Dates & Beating 1	15 Mag a
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Rangeview Villas - owner	10 11 12
	18 Juliului

	Address for Service: Required	
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	Levin	
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	Enter & Suppose 5510	
	Telephone: Required	
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	2. Further Submitters	
	Select as appropriate: (Select 1 option) Required	
	I represent a relevant aspect of the public interest.  I have an interest in the Proposed Plan Change greater than the interest that the greater than the interest than the greater than	general public has.

3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

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#### Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

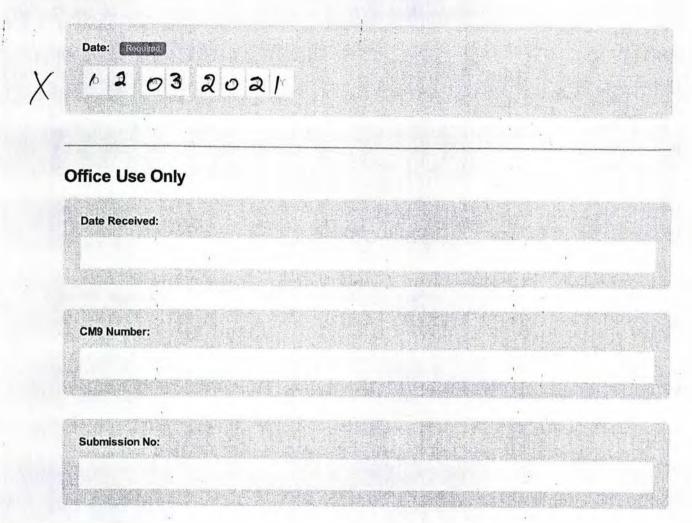
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Name

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## **Further Submission 20: Grant Smith**

# Further Submission Form: Proposed Plan Change 4

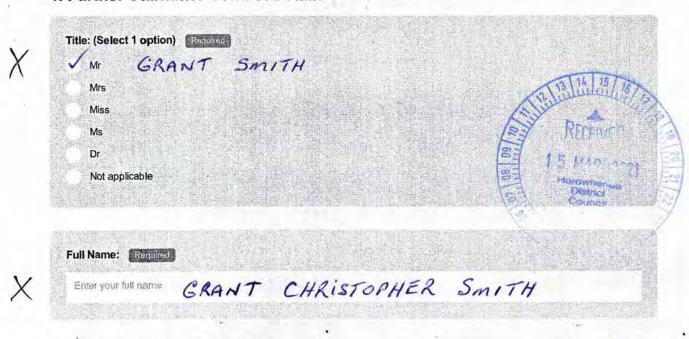


Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

#### 1. Further Submitter Contact Details



Name of Organisation: (if on behalf of an Organisation)

Rangeview Villas - owner



1 r WIW Close	
Ente <b>38</b> adoles 9 Fuller Close Levin	
Postcode: [Required]	
Enter 95 540 eg 5510	
Telephone: Required	
Enter your day time telephone number (06) 367-8405	
(08) 30/ 8403	
Mobile:  Enter your mobile number 021 - 0577 2 45	
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3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required			
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Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required

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Name

CRANT CHRISTOPHER SMITH

Date: Required

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# **Further Submission 21: Marilyn Morris**

# Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 http://www.horowhenua.govt.nz/ppc4, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

#### 1. Further Submitter Contact Details

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	Select as appropriate: (Select 1 option) Required
	I represent a relevant aspect of the public interest.
	I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details (Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required	
Rangeview Villas Body Corporate	
Submitter's Address for Service: Regions	
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Wellington 6143	
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#### Privacy Act 1993

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## Further Submission 22: Roger Truebridge

# **A**

#### TRUEBRIDGE ASSOCIATES LIMITED

LICENSED CADASTRAL SURVEYORS

RESOURCE MANAGEMENT CONSULTANTS

Directors:
William Louden Riordan, B.SURV. M.N.Z.I.S.
Roger Colin Truebridge, B.SURV. M.N.Z.I.S.

TELEPHONE 06 368 6249
FAX 06 368 6049
EMAIL levin@truebridge.co.nz

522 QUEEN STREET LEVIN

10 March 2021

The Planner
Horowhenua District Council
126 Oxford Street
Levin

Attention Lauren Baddock:

Further submission on Plan Change 4 - Tara Ika (Cross submission)

My original submission was submission number 33

This cross submission is done in conjunction with Brendan McDonnell who's original submission is number 27

I have an interest in the proposed plan change greater than the interest that the general public has.

I wish to be heard in support of my submission.

The following is a summary of my further submission as it relates to other submissions made in regards to Plan Change 4. They are listed in order of submission made.

#### Submission 6 - Elisabeth Susan Leighfield.

Partially support.

Agree that no vehicle access across strategic cycleways and creating rear access for lots fronting those roads that have strategic cycleways has the potential for poorly maintained rear areas that are unattractive and potentially un safe.

#### Decision sought;

To allow access from the front or rear of the site with careful consideration of safety matters to mitigate effects of crossing any cycleways and also all aspects of rear accessways such as safety, maintenance and public services. This may include but not be limited to, reduction of crossing places by use of slip roads/drives, greater dwelling setbacks to allow greater visual prominence of any cycleways, landscaping of the road reserve area to enhance visibility and serviceability, vehicle manoeuvrability and amenity of such cycleways. That any proposals should be supported by a traffic assessment. Imaginative design should be encouraged. Rear access should be minimised.



#### **Submission 7 – Geoff Kane**

#### Partially support

Agree that no additional stormwater should enter the downstream catchment in all rain events. The Tara Ika development should result in a stormwater runoff neutral or positive situation in terms of stormwater runoff. This is in terms of quality and quantity. We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

#### Decision sought;

That all stormwater for the development must be dealt with onsite. That each individual development must demonstrate how stormwater will be dealt with onsite in terms of disposal, retention and treatment for all storm events.

#### Submission 9 - Phillipa and Pasanka Wickremasinghe

#### Partially support

Agree that the low density overlay on the residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area available for residential development.

#### **Decision sought;**

To remove the low density residential and green belt residential overlays from the residentially zoned land within the Tara Ika development area.

#### Submission 10 – Helen Olive Brown

#### **Fully support**

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

#### **Decision sought;**

To remove the low density residential and green belt residential overlays from the residentially zoned land within the Tara Ika development area.



#### Submission 11 - John and Jeny Brown

Partially support

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

#### Decision sought;

To remove the low density residential and green belt residential overlay from the residentially zoned land within the Tara Ika development area.

#### Submission 13 - Gwyneth Schibli

Partially support

Agree that house rain water storage tanks be mandatory as a second source of water in order to conserve and maximise the available water resource in the existing town system.

#### **Decision sought;**

To require all new dwellings within the Tara Ika development area to install a minimum of a 10,000 litre water storage tank that is filled by rain water and not connected to the town supply. The purpose being to supplement the town supply. This must be done at the time of building construction. The tank may form part of (help supplement) the primary system to the dwelling or form a secondary supply for uses. At a minimum it must service the non potable water uses for the property.

#### Submission 14 - Gwyneth Schibli

**Fully support** 

Agree that the low density overlay on the residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

#### **Decision sought;**

To remove the low density residential overlay from the residentially zoned land within the Tara Ika development area.



#### Submission 15 - Gwyneth Schibli

#### Partially support

Agree that stormwater needs to be fully dealt with onsite within each development site via onsite soakage and retention. We have carried out testing within the Tara ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

The proposed wetlands be created by council on the eastern side of the expressway as an emergency retention area only and developed in a way that enhances amenity and bio diversity in the area.

#### Decision sought;

That council negotiate and purchase this land once the expressway is built in order to develop an emergency retention area that is developed in such a way that enhances and screens the expressway from the Tara Ika development area and increases bio diversity and amenity in the area.

That stormwater from individual developments be dealt with onsite via soakage and retention to ensure water quality is maintained and run off from the development site is either neutral or less post development.

#### Submission 18 – Jennings Family Trust

Partially oppose and partially support

1. Agree that the area between SH57 and the proposed bypass should have a mixed zoning to allow for commercial and services activities. This area in unlikely to have quality residential development on it due to the proximity to both road corridors.

#### **Decision sought;**

Change the zoning of this area to mixed use commercial to allow for commercial and service activities.

2. Agree that the low density overlay for the south west corner of the development area should be removed to allow better utilisation of the residential zone.



#### **Decision sought;**

Remove the low density zoning in the south west corner of the development area.

3. Disagree concerning the proximity of the arterial road off Queen Street to the east of Redwood Grove. The space between the proposed road and the eastern side of Redwood Grove to place sections two deep which will provide the buffering needed for the effects of the arterial road.

#### Decision sought;

Do not change the location of the arterial road servicing the development that is located to the east of Redwood Grove.

4. Disagree concerning the location of green spaces and educational spaces as they have been centralised inline with good planning practice and urban design. However if the owner of the land within which these areas lay is happy to relocate them along with the other interested parties I am not overly concerned.

#### **Decision sought;**

That the interested parties resolve this matter between themselves and the Plan Change is altered to reflect the outcome.

#### Submission 20 - Julia Burgess

Fully support

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

#### Decision sought;

To remove the low density residential and green belt residential overlay from the residentially zoned land within the Tara Ika development area.

#### Submission 24 - Paul Turner on Behalf of Haddon Preston

**Fully support** 

Agree with all aspects of this submission



#### **Decision sought**

All of bullet points 1 to 11 in the decision sort by this submission are implemented.

#### Submission 25 – Horowhenua District Council Officer Submission

Partially support

Rationalise the zones. Remove the low density overlay in all areas. Increase the medium density area as indicated as this will allow more efficient land use and increase the developable resource for the future.

All subdivision that meets the rules and standards within each zone should be either permitted or controlled activities. This will provide much better certainty for developers and remove process also. This will translate into more efficient development in a more timely manner. This will relate directly to affordable housing which is a significant national issue which must be addressed. This approach is inline with central government directives.

#### **Decision sought;**

Remove the low density overlay on all residential land. Increase the medium density areas as shown.

Make all subdivision that meets the rules and standards for each zone a controlled activity. Change all matters over which council have discretion to matters over which council have control in order to streamline the consenting processes.

#### Submission 27 – Brendan McDonnell

**Fully support** 

To provide certainty along with flexibility for developers is very important and key to good development to meet the needs of the public. Having good rules with controlled or permitted status helps provide for this.

The removal of the low density overlay from residential land to maximise the development potential of the area.

#### **Decision sought;**

Remove the low density overlay on all residential land.

Make all subdivision that meets the rules and standards for each zone a permitted or controlled activity. Change all matters over which council have discretion to matters over which council have control in order to streamline the consenting processes.



#### Submission 28 - Dylan Andrews on Behalf of Electra

#### Support

Electra's existing infrastructure is protected by statute. The current overhead lines that run across the development area would ideally be best placed underground over time as the development progresses. This must be done in a collaborative way between council, Electra and the land owners. to put the lines underground is in keeping with the current District Plan rules and also the engineering requirements and principles of good development the are annexed to the District Plan.

Electra have stated that they are willing to work with council to ensure a safe and beneficial outcome for the community is obtained. This can only be done through working together. There are a number of road corridors that could be utilised for the long term undergrounding of these lines and the amenity, safety and visual aesthetics of the area would be greatly enhanced if the lines were placed underground in the medium to long term. This would be the shared burden of all the parties involved if a satisfactory outcome is to be achieved.

We strongly support this approach.

#### **Decision sought;**

That all parties work together in good faith with the long term goal of undergrounding the transmission lines as is required for all new infrastructure in the District. That a rule in the District Plan be formulated to address this matter.

#### Submission 31 - Tom Anderson on Behalf of Redwood Grove Properties

#### Oppose

The Redwood Grove development was carried out in2000 and at that time a self imposed private covenant was registered against the titles within the development preventing further subdivision of sites less than 4000m<sup>2</sup> due to the proximity of the development to the township of Levin it has become surrounded by potential new residential development and growth of the town.

It would not be appropriate to leave a small spot zone of low density residential land within the new Tara ika development area based on a private covenant. If all of the interested parties to the covenant agreed it could be amended or cancelled which will leave them to utilise the residential zoning. They should also be bound by the activity standards of the new zoning in order to be consistent with the area that they are within and the surrounding land.

The location of the arterial road running off Queen Street into the new hub of the area on the property to the east of Redwood grove allows houses to be placed two deep, if desired, from the eastern side of the eastern Redwood Grove properties. This is ample space to buffer Redwood Grove from any effects of the roading proposed to the east. All other utilities placed will be underground so won't be seen.



The placement of new sanitary sewer up Queen Street for example will allow Redwood Grove residents to abandon their pumping main to the lower Queen Street and utilise a new gravity system. This has the potential to improve those resident's sewer service.

#### **Decision sought;**

Do **not** impose a low density overlay as requested by this submission.

#### Submission 32 - Monique Leith on behalf of Leith Consulting

#### **Fully support**

We also consider more consideration needs to be given to vehicle access across strategic cycleways for reasons stated earlier. We also agree with the rainwater tanks and building setbacks.

Areas of discretion need to be reduced and made controlled or permitted in conjunction with clear rules and guidelines.

#### **Decision sought;**

To give further consideration to controlled rules and permitted activities to give certainty to developers. That council consider all points in this submission.

## <u>Submission 34 – Letitcia Jarret on behalf of Waka Kotahi New Zealand</u> <u>Transport Agency</u>

Partially oppose

The O2NL has not commenced at this stage and it is clear that had there been no corridor the land that it covers would be zoned residential. This has in fact been indicated as the corridor and has been shown as an overlay on that zoning. This includes the special use overlay.

NZTA cannot suggest or have accepted potential zonings that are placed for the purpose of mitigating the impact of the expressway/bypass. This will have the potential effect of reducing the value and/or opportunity of the land affected. Council have spent near on three years working up three scenarios for the location of the roading corridor two of which they have clearly indicated what the zoning of the land would have been if the current location had not been adopted.

The upgrades to the Queen Street East/SH57 intersection is a safety upgrade relating to the current situation. It is within the current corridor and is an NZTA asset. Its cost or requirement cannot be placed on the rezoning of the Tara Ika development area.

In terms of stormwater we agree that a joint wetland area should be developed that can deal with only emergency events from the Tara Ika development area. This offers an opportunity to buffer and screen the new road from the development.



We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

NZTA are covered by statute and it is not necessary for council to accommodate or zone to allow for their objectives.

NZTA state they could not gain an advantage in trade competition through the submissions. It should be noted that if NZTA create the perception that it is uncertain where the actual road will be going it could have an effect on the land values in the area. This would then potentially lower the compensation they may have to pay in the land acquisition process under the Public Works Act.

#### Decision sought;

That council continue to work with NZTA to development an emergency stormwater wetland adjacent to the new road in order to protect the area against any type of flooding in the down stream catchments as a result of the Tara Ika development.

#### Submission 38 - Prouse Trust Partnership

**Fully Support** 

We agree with all aspects of the Prouse submission.

We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with propriate treatment.

#### **Decision sought;**

That council take on board all of the Prouse's requests and act upon them.

I wish to be heard in relation to the above.

Yours faithfully

Truebridge Associates Limited

R C Truebridge