

Further Submission 1: Lois Molloy

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 <http://www.horowhenua.govt.nz/ppc4>, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.



1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- ☐ Mr
- ☒ Mrs
- ☐ Miss
- ☐ Ms
- ☐ Dr
- ☐ Not applicable



Full Name:

Required

Enter your full name

Lol's Annette Molloy

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Address for Service: **Required**

Enter your address

108 GLADSTONE ROAD RDI
LEVIN

Postcode: **Required**

Enter your postcode, eg 5510

5571

Telephone: **Required**

Enter your daytime telephone number

06 3688813

Mobile:

Enter your mobile number

021 173 0041

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

loisandbob@extra.co.nz

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or ~~opposition to~~ the submission of:

Submitter's Name: Required

Enter the name
Elisabeth Susan Leighfield

Submitter's Address for Service: Required

Enter the postal address
106 B GLADSTONE ROAD
LEVIN

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/06

4. Further Submission Particulars

The particular parts of the submission I support (or ~~oppose~~) are: Required

Enter details of the particular parts
Structure Plan 013 - layout of road
connections particularly those roads with
access onto Gladstone Road

5. Further Submission Reasons

Attached

The reasons for my support (or opposition) are: Required

Enter the reasons

As neighbours and with access to our property very close to this corner any additional access onto Gladstone Rd would be problematic.

6. Further Submission Decision Sought

I seek the whole (or part) of the submission to be allowed (or disallowed): Required Give precise details

Enter the precise details

Attached.

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

☐ Yes

☒ No

Do you wish to speak in support of your submission? (Select 1 option) Required

☐ Yes

☒ No

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

- ☐ Yes
☒ No


Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

- ☐ Yes
☐ No

Sign language interpretation required? (Select 1 option)

- ☐ Yes
☐ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: **Required**



Name

Lois Annette Molloy

Date: Required

07 03 2021

Office Use Only

Date Received:

5.

We are owners and residents of 108 Gladstone Road; we write in support of submission 04/06 and make the following comments. Gladstone Road is a narrow country road which, between Queen Street East and Tararua Road, forms the eastern boundary to the proposed subdivision. This road's character would be compromised if added traffic were to enter or leave Gladstone Road on the proposed new arterial road which joins at the right angle corner at 100 Gladstone Road. We believe there should be no road joining Gladstone Road at that corner. Traffic from Tara Ika and Queen Street East should be channeled south to join Tararua Road without travelling on Gladstone Road at all. With three recently built houses and two under construction, there will be five driveways joining Gladstone Road at that corner; we do not need an additional arterial road!

6

The creation of any additional road access onto Gladstone Road be removed from the proposed Plan Change.

Measures to encourage recreational activity along Gladstone Road by discouraging vehicular traffic other than for local access, be added to the proposed Plan Change.

Further Submission 2: Christine Bingham

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- ☐ Mr
- ☒ Mrs
- ☐ Miss
- ☐ Ms
- ☐ Dr
- ☐ Not applicable

Full Name:

Required

Enter your full name

Christine Robyn Bingham.

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangeview Villas - owner



Address for Service: **Required**

Enter your address

7/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode, eg 5510

5510

Telephone: **Required**

Enter your day time telephone number

0073842796

Mobile:

Enter your mobile number

0373842796

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

kelvin.howard@xtra.co.nz

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

X
☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

X
☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

X

Name

C. R. Bingham

Date: Required

X 11 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 3: Pamela Adams

Further Submission Form: Proposed Plan Change 4



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1. Further Submitter Contact Details

Title: (Select 1 option) **Required**

- ☐ Mr
☒ Mrs
☐ Miss
☐ Ms
☐ Dr
☐ Not applicable

Full Name: **Required**

Enter your full name

PAMELA ADAMS

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangevue Villas - owner



Address for Service: **Required**

Enter your address

13/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode, eg 5510

5510

Telephone: **Required**

Enter your day time telephone number

368-6154

Mobile:

Enter your mobile number

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

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This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

X
☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

X
☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

- ☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


- ☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

- ☐ Yes
☒ No

Submission Attachments:

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Declaration

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X

Signature of Submitter: Required

P.M. Adams

Name

X

Pam Adams

Date: Required

D D M M Y Y Y Y

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 4: Judith Stafford

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☐ Mr
 - ☒ Mrs **STAFFORD**
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X

Enter your full name
JUDITH ANNE STAFFORD

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation
Rangewai Villas - owner



Address for Service: **Required**

X Enter your address
48/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode (eg 5510)
5510

Telephone: **Required**

X Enter your day time telephone number
0275917633

Mobile:

X Enter your mobile number
0275917633

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

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Declaration

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

JUDITH STALLON

X

Name

J.A. Stallon

Date: Required

X 14 M 3 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 5: James Courtley

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- ☐ Mr
- ☐ Mrs
- ☐ Miss
- ☐ Ms
- ☒ Dr
- ☐ Not applicable

Full Name:

Required

Enter your name: JAMES COURTLEY

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation: Rangeview Villas - owner



Address for Service: ☐ Required

X Enter your address: 26/9 Fuller Close
Levin

Postcode: ☐ Required

Enter your postcode, eg 5510 5510

Telephone: ☐ Required

X Enter your day time telephone number

Mobile:

X Enter your mobile number: 0204 178 6564

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address: jcartley@outlook.co.nz

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Enter the name of the submitter
Rangerview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

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Declaration

Privacy Act 1993

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X

Signature of Submitter: Required

J. Courtney

X

Name

JAMES COURTNEY

Date: Required

X 14 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 6: Derek & Dorothy Canvin

Further Submission Form: Proposed Plan Change 4



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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☒ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X
Enter your full name
DEREK A & DOROTHY C CANVIN

Name of Organisation: (if on behalf of an Organisation)

X
Enter your organisation
Rangewai Villas - owner



Address for Service: **Required**

13 / 9 Fuller Close
Levin

Postcode: **Required**

5510

Telephone: **Required**

06 368 5761

Mobile:

022 3144 558 / 021 037 9985

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

NZGYPSYROVER@gmail.com

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address

PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number

04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts

Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration

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X

Signature of Submitter: Required

Dorothy Canvin

Dorothy Canvin

X

Name

DEREK A CANVIN

Dorothy Canvin

Date: **Required**

X 11032021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 7: Janie Moncrieff

Further Submission Form: Proposed Plan Change 4



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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☐ Mr
 - ☐ Mrs
 - ☒ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable



Full Name: Required

X

Enter your full name

Janie Margaret Moncrieff

Name of Organisation: (if on behalf of an Organisation)

Rangeview Villas - owner



Address for Service: **Required**

Enter your address

47/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

SS10

Telephone: **Required**

Enter your day time telephone number

Mobile:

Enter your mobile number

021 - 026 35 246

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

NONE

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangeview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

X
☐ Yes
☒ No

Do you wish to speak in support of your submission? (Select 1 option) Required

X
☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: **Required**

X

Name

J M Moncrieff
Janice Moncrieff

Date: Required

X 1 1 M 3 Y 2 1 Y

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 8: Delza Purvis

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 <http://www.horowhenua.govt.nz/ppc4>, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- ☐ Mr
- ☒ Mrs
- ☐ Miss
- ☐ Ms
- ☐ Dr
- ☐ Not applicable

Full Name:

Required

Enter your full name

Delza Elizabeth Purvis

Name of Organisation: (if on behalf of an Organisation)

Rangevue Villas - owner



Address for Service: **Required**

Enter your address

28/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

SS10

Telephone: **Required**

Enter your day time telephone number

0274854218

Mobile:

Enter your mobile number

as above

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

deltzapurvis@gmail.com

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

Delza Elizabeth Purvis
Delza Elizabeth Purvis

X

Name

Date: **Required**

13032021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 9: Josephine Olsen

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☐ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

Enter your full name

X Josephine Dorothy OLSEN

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangewai Villas - owner



Address for Service: **Required**

X Enter your address

66/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

5510

Telephone: **Required**

X Enter your day time telephone number

06 21 00 161

Mobile:

X Enter your mobile number

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address

PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number

04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts

Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☒ Yes
☐ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required



Name

X

Josephine Dorothy OLSEN

Date: Required

X 14 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 10: Diana Murphy

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- ☐ Mr
- ☒ Mrs
- ☐ Miss
- ☐ Ms
- ☐ Dr
- ☐ Not applicable

Full Name:

Required

Enter your full name

Diana Mary Murphy

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangeview Villas - owner



Address for Service: **Required**

Enter your address

29 / 9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

SS10

Telephone: **Required**

Enter your day time telephone number

06, 3683109

Mobile:

Enter your mobile number

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

- (a) Pollution
- (b) Noise
- (c) Access to & from the village would become very dangerous
- (d) Devaluing of properties in the village inevitable

The reasons for my support ~~(or opposition)~~ are: Required

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

- ☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


- ☒ Yes
☐ No

X

Sign language interpretation required? (Select 1 option)

- ☒ Yes
☐ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration


Privacy Act 1993

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X

Signature of Submitter: Required



X

Name



Date: **Required**

D D M M Y Y Y Y
1 4 3 2 0 2 1

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 11: Stella Austing

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) **Required**

- X
- ☐ Mr
 - ☐ Mrs
 - ☒ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: **Required**

X

Enter your full name

STELLA AUSTING

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation
Rangevue Villas - owner



Address for Service: ☐ Required

Enter your address

27/9 Fuller Close
Levin

Postcode: ☐ Required

Enter your postcode eg 5510

5510

Telephone: ☐ Required

Enter your day time telephone number

367-9965

Mobile:

Enter your mobile number

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

STELLAVIS@SLINGSHOT.CO.NZ
(LOWER CASE LETTERS)

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Rangeview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address

PO Box 8015

Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number

04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts

Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes

☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes

☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes

☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

S. Austing

X

Name

STELLA AUSTING

Date: Required

X 13 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 12: Maxine Rutten

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☐ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X

Enter your full name

Maxine Ratten.

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangiorua Villas - owner



Address for Service: ☐ Required

X Enter 34/9 Fuller Close
Levin

Postcode: ☐ Required

Enter your postcode eg 5510
SS10

Telephone: ☐ Required

X Enter your day time telephone number

3672404.

Mobile:

X Enter your mobile number

0278583765

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address

None.

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

Maxine Ratten 34/9 Fuller Close Levin

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

- ☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

- ☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

- ☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: **Required**

[Handwritten Signature]

X

Name

[Handwritten Name: Justin Rutherford]

Date: Required

X 11 D 3 M 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 13: Margaret Foote

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) **Required**

- X
- ☐ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: **Required**

X
MARGARET JUNE FOOTE

Name of Organisation: (if on behalf of an Organisation)

Rangeroia Villas - owner



Address for Service: **Required**

Enter your address

32/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

SS10

Telephone: **Required**

Enter your day time telephone number

06-3689688

Mobile:

Enter your mobile number

0278785167

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

margaretpoote75@gmail.com

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Rangeview Villas Body Corporate

Submitter's Address for Service: Required

PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required



Yes

No

Do you wish to speak in support of your submission? (Select 1 option) Required



Yes

No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

Ch. J. Foote

X

Name

Margaret Foote

Date: Required

12 03 2021

MY.

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

5. Further Submission Reasons

I originally moved into Rangeview Villas intending to live there for my remaining years in a quiet safe environment. The proposed change will prevent this happening (Refer *)
The value of my home is now in danger of depreciating as there will be a reluctance from buyers to pay the right capital value with the future proposal going ahead.

* (~~Quiet~~? Noisy traffic!
Safe? Danger of exiting Rangeview onto a busy thoroughfare!

Why is council using money to purchase the villas for demolition when there are other roads that are available without this action?

Ch. J. F.

Further Submission 14: Jacqueline Terrence

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- X
- ☐ Mr
 - ☐ Mrs
 - ☐ Miss
 - ☒ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name:

Required

Enter your full name

JACQUELINE TERRENCE

Name of Organisation: (if on behalf of an Organisation)

Rangewai Villas - owner



Address for Service: **Required**

X Enter your address **16/9 Fuller Close**
Levin

Postcode: **Required**

Enter your postcode, eg 5510 **5510**

Telephone: **Required**

X Enter your day time telephone number **0273117470**

Mobile:

X Enter your mobile number **0273117470**

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address **jacquiterrence@gmail.com**

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: Required

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: Required

Enter the postal address

PO Box 8015
Wellington 6143

Submission Number: Required Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number

04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: Required

Enter details of the particular parts

Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

☒ Yes

☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

☒ Yes

☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

☒ Yes

☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes

☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes

☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: **Required**

X

Name

JACQUELINE TERRENCE

Date: Required

X 11 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 15: Heather Coffey

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 <http://www.horowhenua.govt.nz/ppc4>, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- X
- ☐ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X

Enter your full name

Heather Lynne Colby



Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangeroos Villas - owner



Address for Service: **Required**

X Enter your address: 56 / 9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510 5510

Telephone: **Required**

X Enter your day time telephone number

027 3554969

Mobile:

X Enter your mobile number

As Above

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address

heather1c@xtra.co.nz

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (or oppose) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

X
☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

X
☐ Yes
☒ No

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

Sign language interpretation required? (Select 1 option)

☒ Yes
☐ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required

Name

Heather Lynne Coffey

Date: Required

X 12 D M 03 2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 16: Marion Wiltshire & Brian Wicker

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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1. Further Submitter Contact Details

Title: (Select 1 option) **Required**

- X
- ☒ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable



Full Name: **Required**

X
Enter your full name MARION MAY WILTSHIRE, BRIAN WILLIAM WICKER

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation Rangewoods Villas - owner



Address for Service: **Required**

Enter your address

21 / 9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

5510

Telephone: **Required**

Enter your day time telephone number

021 439 155

Mobile:

Enter your mobile number

AS ABOVE

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

norcaw@xtra.co.nz

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- X
- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- X
- ☒ Yes
☐ No

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☐ Yes

☐ No

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes

☒ No

Sign language interpretation required? (Select 1 option)

☐ Yes

☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

Signature of Submitter: Required

MM WILTSIRE

Name

MARION MAY WILTSHIRE

Brian Wicker

Brian Wicker

Date: Required

X 1 2 0 3 2 0 2 1

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 17: Helen Clark

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☐ Mr
 - ☒ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X

Enter your full name

Heleen Clark

Name of Organisation: (if on behalf of an Organisation)

Rangiorua Villas - owner



Address for Service: ☐ Required

Enter your address

14 / 9 Fuller Close
Levin

Postcode: ☐ Required

Enter your postcode eg 5510

SS10

Telephone: ☐ Required

Enter your day time telephone number

06 3685345

Mobile:

Enter your mobile number

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☐ Yes
☒ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: **Required**

Helen Clark

X

Name

HELEN CLARK

Date: Required

1 2 0 3 2 0 2 1

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 18: Dianna Smith

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- X
- ☐ Mr
 - ☐ Mrs
 - ☐ Miss
 - ☒ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name: Required

X
Enter your full name DIANNA LEIGH SMITH

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation
Rangevue Villas - owner



Address for Service: **Required**

Enter your address

1/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode eg 5510

5510

Telephone: **Required**

Enter your day time telephone number

0211437722

Mobile:

Enter your mobile number

0211437722.

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

boodsmith@gmail.com

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangerview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required



Yes



No

Do you wish to speak in support of your submission? (Select 1 option) Required



Yes



No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

- ☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

- ☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

- ☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

X

Name

DIANNA LEIGH SMITH

Date: Required

6 2 0 3 2 0 2 1

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 19: Robin & Jennifer Benton

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

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1. Further Submitter Contact Details

Title: (Select 1 option)

Required

- X
- ☒ Mr
 - ☐ Mrs
 - ☐ Miss
 - ☐ Ms
 - ☐ Dr
 - ☐ Not applicable

Full Name:

Required

X

ROBIN DONALD BENTON.

Jennifer Benton

Name of Organisation: (if on behalf of an Organisation)

Rangiorua Villas - owner



Address for Service: **Required**

Enter your address

50/9 Fuller Close
Levin

Postcode: **Required**

Enter your postcode, eg 5510

5510

Telephone: **Required**

Enter your daytime telephone number

021 155 8915 or 06 368 8206

Mobile:

Enter your mobile number

021 155 8915

Email: **Required**

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

romanyrambler@gmail.com

2. Further Submitters

Select as appropriate: (Select 1 option) **Required**

- ☐ I represent a relevant aspect of the public interest.
- ☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

- ☒ Yes
☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

- ☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)


☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:

 Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

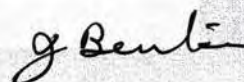
Signature of Submitter: Required



X

Name

ROBIN DONALD BENTON



Jennifer Benton

Date: Required

12032021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 20: Grant Smith

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

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1. Further Submitter Contact Details

Title: (Select 1 option) Required

- X
- ☒ Mr GRANT SMITH
- ☐ Mrs
- ☐ Miss
- ☐ Ms
- ☐ Dr
- ☐ Not applicable



Full Name: Required

X

Enter your full name GRANT CHRISTOPHER SMITH

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation Rangiora Villas - owner



Address for Service: ☐ Required

Enter your address

38 / 9 Fuller Close
Levin

Postcode: ☐ Required

Enter your postcode eg 5510

5510

Telephone: ☐ Required

Enter your day time telephone number

(06) 367-8405

Mobile: ☐ Required

Enter your mobile number

021-0577245

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

Enter your email address

NIL

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangeview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

X
☐ Yes
☒ No

Do you wish to speak in support of your submission? (Select 1 option) Required

X
☒ Yes
☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) Required

☐ Yes
☒ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

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IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: Required

G.C. Smith

X

Name

GRANT CHRISTOPHER SMITH

Date: Required

X 10.03.2021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 21: Marilyn Morris

Further Submission Form: Proposed Plan Change 4



Resource Management Act 1991: Form 6 of Resource Management (Forms, Fees, Procedure) Regulations 2003

Further Submissions must be received by no later than 4pm on Monday, 15 March 2021.

If you require further information about this process please visit www.horowhenua.govt.nz/PPC4 <http://www.horowhenua.govt.nz/ppc4>, email us at districtplan@horowhenua.govt.nz or call us on (06) 366 0999.

1. Further Submitter Contact Details

Title: (Select 1 option) **Required**

- ☐ Mr
☒ Mrs
☐ Miss
☐ Ms
☐ Dr
☐ Not applicable

Full Name: **Required**

Enter your full name

Marilyn Norma Morris

Name of Organisation: (if on behalf of an Organisation)

Enter your organisation

Rangiorua Villas - owner



Address for Service: ☐ Required

X Enter your address

/9 Fuller Close Villa 15
Levin

Postcode: ☐ Required

Enter your postcode eg 5510

5510

Telephone: ☐ Required

X Enter your day time telephone number

063679339

Mobile:

X Enter your mobile number

021 2383613

Email: ☐ Required

The email address provided below will be used for sending a copy of your submitted details to and for correspondence regarding the Proposed Plan Change.

X Enter your email address

simn@nettel.net.nz

2. Further Submitters

Select as appropriate: (Select 1 option) ☐ Required

☐ I represent a relevant aspect of the public interest.

☒ I have an interest in the Proposed Plan Change greater than the interest that the general public has.

3. Further Submission Details

(Please state the name and address of the person who made the original submission and their submission number in the spaces below)

This is a further submission in support of or opposition to the submission of:

Submitter's Name: **Required**

Enter the name
Rangview Villas Body Corporate

Submitter's Address for Service: **Required**

Enter the postal address
PO Box 8015
Wellington 6143

Submission Number: **Required** Please note your submission can not be considered if you have not included the submission number of the original submission you support or oppose.

Enter the submission number
04/29

4. Further Submission Particulars

The particular parts of the submission I support (~~or oppose~~) are: **Required**

Enter details of the particular parts
Everything in the submission

5. Further Submission Reasons

The reasons for my support ~~(or opposition)~~ are: Required

Enter the reasons
The extension of Liverpool Street through Fuller Close would have a major impact on Rangeview Villas

6. Further Submission Decision Sought

I seek the whole ~~(or part)~~ of the submission to be allowed ~~(or disallowed)~~: Required Give precise details

Enter the precise details
The proposal to extend Liverpool Street through Fuller Close should be removed from the Plan Change Proposal

7. Proposed Plan Change Hearing

Please indicate your preferences below

Do you wish to attend the Council hearing for the Proposed Plan Change? (Select 1 option) Required

☒ Yes

☐ No

Do you wish to speak in support of your submission? (Select 1 option) Required

☒ Yes

☐ No

X

If others make a similar submission would you be prepared to consider presenting a joint case at the hearing?
(Select 1 option) **Required**

☒ Yes
☐ No

X

Would you like to make your verbal submission in Te Reo Māori? (Select 1 option)

☐ Yes
☒ No

X

Sign language interpretation required? (Select 1 option)

☐ Yes
☒ No

Submission Attachments:



Please attach all files to the end of this form before submitting it.

Declaration

Privacy Act 1993

Please note that submissions are public information. Information on this form including your name and submission will be accessible to the media and public as part of the decision making process. Council is required to have this by the Resource Management Act 1991. Your contact details will only be used for the purpose of the Plan Change process. The information will be held by the Horowhenua District Council, 126 Oxford Street, Levin. You have the right to access the information and request its correction.

IMPORTANT: You must send a copy of your further submission to the person who made the original submission, within 5 working days of making the further submission to Horowhenua District Council.

X

Signature of Submitter: **Required**

nb l Morris

X

Name

Marilyn Norma Morris

Date: Required

X 12032021

Office Use Only

Date Received:

CM9 Number:

Submission No:

End of form

Don't forget to attach all files before submitting this form

Further Submission 22: Roger Truebridge



TRUEBRIDGE ASSOCIATES LIMITED

LICENSED CADASTRAL SURVEYORS

&

RESOURCE MANAGEMENT CONSULTANTS

Directors:

William Loudon Riordan, B.SURV. M.N.Z.I.S.
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522 QUEEN STREET
LEVIN

10 March 2021

The Planner
Horowhenua District Council
126 Oxford Street
Levin

Attention Lauren Baddock;

Further submission on Plan Change 4 – Tara Ika (Cross submission)

My original submission was submission number 33

This cross submission is done in conjunction with Brendan McDonnell who's original submission is number 27

I have an interest in the proposed plan change greater than the interest that the general public has.

I wish to be heard in support of my submission.

The following is a summary of my further submission as it relates to other submissions made in regards to Plan Change 4. They are listed in order of submission made.

Submission 6 – Elisabeth Susan Leighfield.

Partially support.

Agree that no vehicle access across strategic cycleways and creating rear access for lots fronting those roads that have strategic cycleways has the potential for poorly maintained rear areas that are unattractive and potentially unsafe.

Decision sought;

To allow access from the front or rear of the site with careful consideration of safety matters to mitigate effects of crossing any cycleways and also all aspects of rear accessways such as safety, maintenance and public services. This may include but not be limited to, reduction of crossing places by use of slip roads/drives, greater dwelling setbacks to allow greater visual prominence of any cycleways, landscaping of the road reserve area to enhance visibility and serviceability, vehicle manoeuvrability and amenity of such cycleways. That any proposals should be supported by a traffic assessment. Imaginative design should be encouraged. Rear access should be minimised.



Submission 7 – Geoff Kane

Partially support

Agree that no additional stormwater should enter the downstream catchment in all rain events. The Tara Ika development should result in a stormwater runoff neutral or positive situation in terms of stormwater runoff. This is in terms of quality and quantity. We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

Decision sought;

That all stormwater for the development must be dealt with onsite. That each individual development must demonstrate how stormwater will be dealt with onsite in terms of disposal, retention and treatment for all storm events.

Submission 9 – Phillipa and Pasanka Wickremasinghe

Partially support

Agree that the low density overlay on the residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area available for residential development.

Decision sought;

To remove the low density residential and green belt residential overlays from the residentially zoned land within the Tara Ika development area.

Submission 10 – Helen Olive Brown

Fully support

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

Decision sought;

To remove the low density residential and green belt residential overlays from the residentially zoned land within the Tara Ika development area.



3.

Submission 11 – John and Jeny Brown

Partially support

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

Decision sought;

To remove the low density residential and green belt residential overlay from the residentially zoned land within the Tara Ika development area.

Submission 13 – Gwyneth Schibli

Partially support

Agree that house rain water storage tanks be mandatory as a second source of water in order to conserve and maximise the available water resource in the existing town system.

Decision sought;

To require all new dwellings within the Tara Ika development area to install a minimum of a 10,000 litre water storage tank that is filled by rain water and not connected to the town supply. The purpose being to supplement the town supply. This must be done at the time of building construction. The tank may form part of (help supplement) the primary system to the dwelling or form a secondary supply for uses. At a minimum it must service the non potable water uses for the property.

Submission 14 – Gwyneth Schibli

Fully support

Agree that the low density overlay on the residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

Decision sought;

To remove the low density residential overlay from the residentially zoned land within the Tara Ika development area.



4.

Submission 15 – Gwyneth Schibli

Partially support

Agree that stormwater needs to be fully dealt with onsite within each development site via onsite soakage and retention. We have carried out testing within the Tara ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

The proposed wetlands be created by council on the eastern side of the expressway as an emergency retention area only and developed in a way that enhances amenity and bio diversity in the area.

Decision sought;

That council negotiate and purchase this land once the expressway is built in order to develop an emergency retention area that is developed in such a way that enhances and screens the expressway from the Tara ika development area and increases bio diversity and amenity in the area.

That stormwater from individual developments be dealt with onsite via soakage and retention to ensure water quality is maintained and run off from the development site is either neutral or less post development.

Submission 18 – Jennings Family Trust

Partially oppose and partially support

1. Agree that the area between SH57 and the proposed bypass should have a mixed zoning to allow for commercial and services activities. This area is unlikely to have quality residential development on it due to the proximity to both road corridors.

Decision sought;

Change the zoning of this area to mixed use commercial to allow for commercial and service activities.

2. Agree that the low density overlay for the south west corner of the development area should be removed to allow better utilisation of the residential zone.



5.

Decision sought;

Remove the low density zoning in the south west corner of the development area.

3. Disagree concerning the proximity of the arterial road off Queen Street to the east of Redwood Grove. The space between the proposed road and the eastern side of Redwood Grove to place sections two deep which will provide the buffering needed for the effects of the arterial road.

Decision sought;

Do not change the location of the arterial road servicing the development that is located to the east of Redwood Grove.

4. Disagree concerning the location of green spaces and educational spaces as they have been centralised inline with good planning practice and urban design. However if the owner of the land within which these areas lay is happy to relocate them along with the other interested parties I am not overly concerned.

Decision sought;

That the interested parties resolve this matter between themselves and the Plan Change is altered to reflect the outcome.

Submission 20 – Julia Burgess

Fully support

Agree that the low density overlay on the residential land and the green belt residential land should be removed in order to maximise the residential land available. It is very difficult to revisit low density or green belt land with infill subdivision in the future and maintain optimum layouts. With the loss of land that will occur with the expressway it is important to maximise the area for residential development.

Decision sought;

To remove the low density residential and green belt residential overlay from the residentially zoned land within the Tara Ika development area.

Submission 24 – Paul Turner on Behalf of Haddon Preston

Fully support

Agree with all aspects of this submission



Decision sought

All of bullet points 1 to 11 in the decision sort by this submission are implemented.

Submission 25 – Horowhenua District Council Officer Submission

Partially support

Rationalise the zones. Remove the low density overlay in all areas. Increase the medium density area as indicated as this will allow more efficient land use and increase the developable resource for the future.

All subdivision that meets the rules and standards within each zone should be either permitted or controlled activities. This will provide much better certainty for developers and remove process also. This will translate into more efficient development in a more timely manner. This will relate directly to affordable housing which is a significant national issue which must be addressed. This approach is inline with central government directives.

Decision sought;

Remove the low density overlay on all residential land. Increase the medium density areas as shown.

Make all subdivision that meets the rules and standards for each zone a controlled activity. Change all matters over which council have discretion to matters over which council have control in order to streamline the consenting processes.

Submission 27 – Brendan McDonnell

Fully support

To provide certainty along with flexibility for developers is very important and key to good development to meet the needs of the public. Having good rules with controlled or permitted status helps provide for this.

The removal of the low density overlay from residential land to maximise the development potential of the area.

Decision sought;

Remove the low density overlay on all residential land.

Make all subdivision that meets the rules and standards for each zone a permitted or controlled activity. Change all matters over which council have discretion to matters over which council have control in order to streamline the consenting processes.



7.

Submission 28 - Dylan Andrews on Behalf of Electra

Support

Electra's existing infrastructure is protected by statute. The current overhead lines that run across the development area would ideally be best placed underground over time as the development progresses. This must be done in a collaborative way between council, Electra and the land owners. to put the lines underground is in keeping with the current District Plan rules and also the engineering requirements and principles of good development the are annexed to the District Plan.

Electra have stated that they are willing to work with council to ensure a safe and beneficial outcome for the community is obtained. This can only be done through working together. There are a number of road corridors that could be utilised for the long term undergrounding of these lines and the amenity, safety and visual aesthetics of the area would be greatly enhanced if the lines were placed underground in the medium to long term. This would be the shared burden of all the parties involved if a satisfactory outcome is to be achieved.

We strongly support this approach.

Decision sought;

That all parties work together in good faith with the long term goal of undergrounding the transmission lines as is required for all new infrastructure in the District. That a rule in the District Plan be formulated to address this matter.

Submission 31 – Tom Anderson on Behalf of Redwood Grove Properties

Oppose

The Redwood Grove development was carried out in 2000 and at that time a self imposed private covenant was registered against the titles within the development preventing further subdivision of sites less than 4000m² due to the proximity of the development to the township of Levin it has become surrounded by potential new residential development and growth of the town.

It would not be appropriate to leave a small spot zone of low density residential land within the new Tara ika development area based on a private covenant. If all of the interested parties to the covenant agreed it could be amended or cancelled which will leave them to utilise the residential zoning. They should also be bound by the activity standards of the new zoning in order to be consistent with the area that they are within and the surrounding land.

The location of the arterial road running off Queen Street into the new hub of the area on the property to the east of Redwood grove allows houses to be placed two deep, if desired, from the eastern side of the eastern Redwood Grove properties. This is ample space to buffer Redwood Grove from any effects of the roading proposed to the east. All other utilities placed will be underground so won't be seen.



The placement of new sanitary sewer up Queen Street for example will allow Redwood Grove residents to abandon their pumping main to the lower Queen Street and utilise a new gravity system. This has the potential to improve those resident's sewer service.

Decision sought;

*Do **not** impose a low density overlay as requested by this submission.*

Submission 32 – Monique Leith on behalf of Leith Consulting

Fully support

We also consider more consideration needs to be given to vehicle access across strategic cycleways for reasons stated earlier. We also agree with the rainwater tanks and building setbacks.

Areas of discretion need to be reduced and made controlled or permitted in conjunction with clear rules and guidelines.

Decision sought;

To give further consideration to controlled rules and permitted activities to give certainty to developers. That council consider all points in this submission.

Submission 34 – Letitia Jarret on behalf of Waka Kotahi New Zealand Transport Agency

Partially oppose

The O2NL has not commenced at this stage and it is clear that had there been no corridor the land that it covers would be zoned residential. This has in fact been indicated as the corridor and has been shown as an overlay on that zoning. This includes the special use overlay.

NZTA cannot suggest or have accepted potential zonings that are placed for the purpose of mitigating the impact of the expressway/bypass. This will have the potential effect of reducing the value and/or opportunity of the land affected. Council have spent near on three years working up three scenarios for the location of the roading corridor two of which they have clearly indicated what the zoning of the land would have been if the current location had not been adopted.

The upgrades to the Queen Street East/SH57 intersection is a safety upgrade relating to the current situation. It is within the current corridor and is an NZTA asset. Its cost or requirement cannot be placed on the rezoning of the Tara Ika development area.

In terms of stormwater we agree that a joint wetland area should be developed that can deal with only emergency events from the Tara Ika development area. This offers an opportunity to buffer and screen the new road from the development.



We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

NZTA are covered by statute and it is not necessary for council to accommodate or zone to allow for their objectives.

NZTA state they could not gain an advantage in trade competition through the submissions. It should be noted that if NZTA create the perception that it is uncertain where the actual road will be going it could have an effect on the land values in the area. This would then potentially lower the compensation they may have to pay in the land acquisition process under the Public Works Act.

Decision sought;

That council continue to work with NZTA to develop an emergency stormwater wetland adjacent to the new road in order to protect the area against any type of flooding in the down stream catchments as a result of the Tara Ika development.

Submission 38 – Prouse Trust Partnership

Fully Support

We agree with all aspects of the Prouse submission.

We have carried out testing within the Tara Ika development area that indicates subsurface soakage is of such a rate that onsite treatment and disposal is possible within each area of development. We are aware that GHD has carried out testing of surface soakage that provides a low soakage rate. It must be noted that sub surface soakage should be utilised with appropriate treatment.

Decision sought;

That council take on board all of the Prouse's requests and act upon them.

I wish to be heard in relation to the above.

Yours faithfully

Truebridge Associates Limited

R C Truebridge